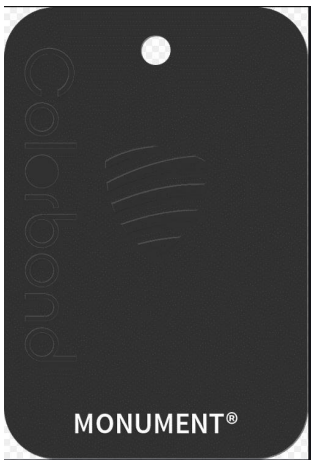


PROPOSED TWO STOREY DWELLING - 105 ERNEST ST LAKEMBA



LOCATION OF PROPOSED SITE
105 ERNEST ST LAKEMBA

| AREA CALCULATION | |
|-----------------------------|----------------------|
| TOTAL SITE AREA: | 639.37 SQM |
| PROPOSED BASEMENT AREA: | 75.29 SQM |
| PROPOSED GROUND FLOOR AREA: | 133.59 SQM |
| PROPOSED FIRST FLOOR AREA: | 105.82 SQM |
| TOTAL PROPOSED LIVING AREA: | 314.70 SQM |
| PROPOSED F.S.R: | 0.49/1 |
| PERMISSIBLE F.S.R: | 0.75/1 |
| MINIMUM LANDSCAPE AREA: | 30% EQUAL 191.81 SQM |
| PROPOSED LANDSCAPE AREA: | 368.57 SQM |



Roof, gutter, window
frame and shading -
Monument color



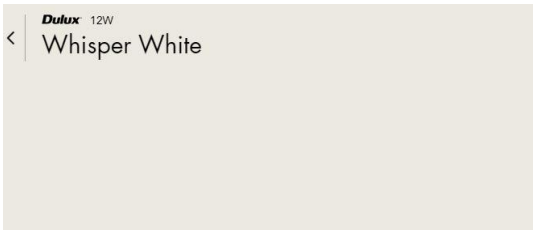
Austral face brick La poloma Azul - brick wall



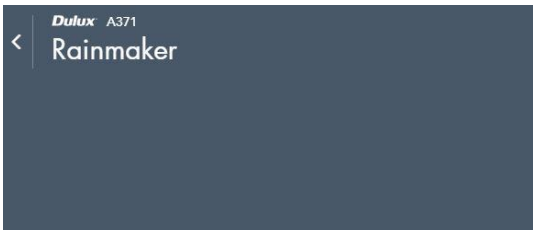
Driveway concrete - grey color



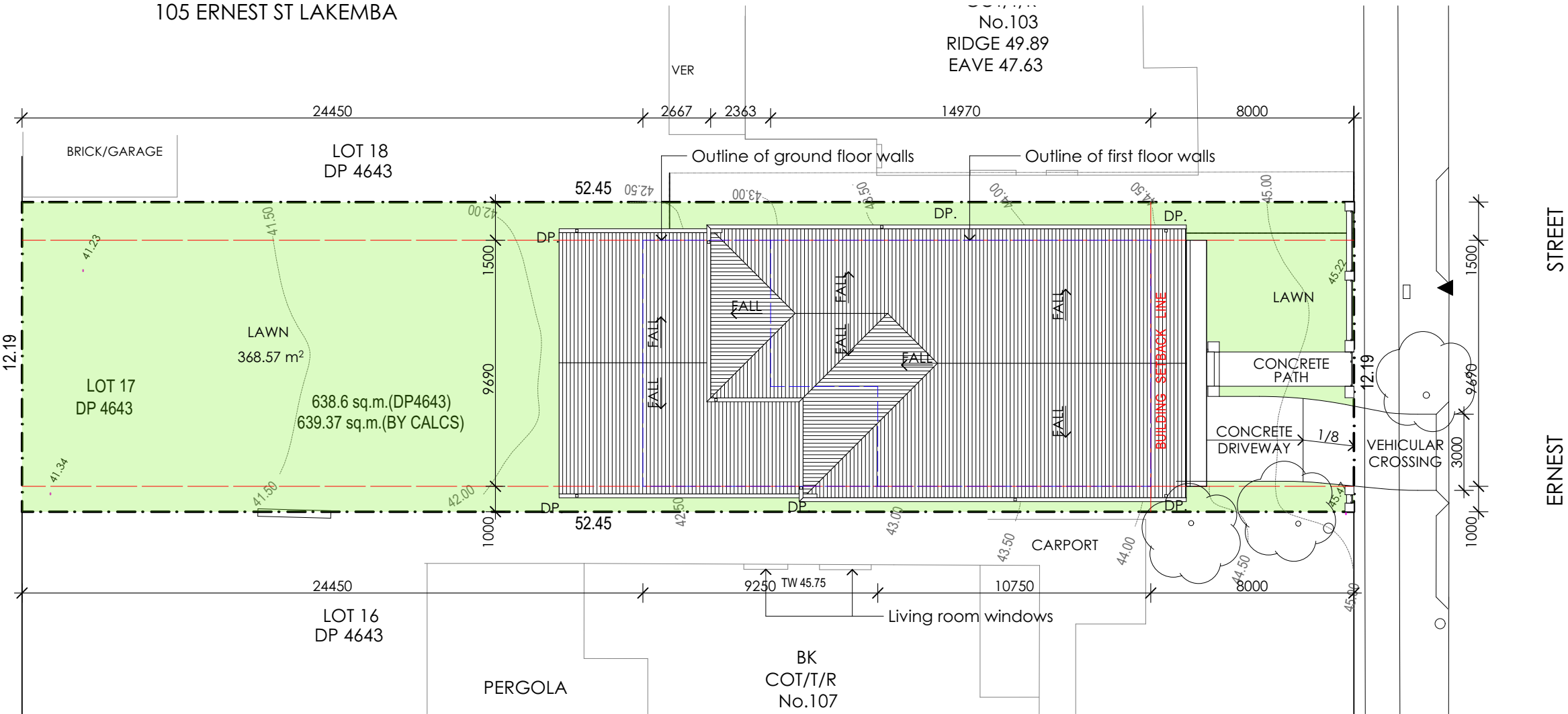
Woodland grey paint



Whisper white paint



Feature colour - Rainmaker paint



SITE PLAN AND ROOF PLAN 1:200

NOTE: NEW GUTTER & DP TO CONNECT TO EXISTING STORMWATER SYSTEM

MATERIALS SCHEDULE

SWATCHES TEXTURES & PATTERNS SHOWN
ARE INDICATIVE ONLY AND SUBJECT TO AVAILABILITY

| | | | | | | | | | | | | | | |
|--|--|--|-------------------------------------|--|--|---|--|--|---|--|--|--------------------------------------|--|--|
| PROJECT NOTES | | | | | | <div><div>NK</div><div>ARCHITECT</div><div>ARCHITECTURAL DESIGN</div><div>74 JOHN ST, CROYDON, NSW</div><div>PHONE (02) 8006 1268</div><div>MOB: 0406 987 868</div><div>NSW ARB: 7853</div></div> | | | PROJECT: PROPOSED TWO STOREY DWELLING | | | Scale 1:200 @ A3 Drawing number AR-1 | | |
| • DO NOT SCALE DRAWINGS. | | | | | | | | | Date 23/05/2022 Pages 1 of 15 | | | | | |
| • FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE. | | | | | | | | | <div>DEVELOPMENT APPLICATION</div> <div>Plot Date: 23/05/2022</div> | | | | | |
| • VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DISCREPANCIES SHALL BE REFERRED TO THE AUTHOR. | | | | | | | | | | | | | | |
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| © Copyright of this drawing is vested in NK ARCHITECT | | | | | | DRAWING NAME _ SITE PLAN AND ROOF PLAN | | | | | | | | |
| LEGEND | | | R.L: RELATIVE LEVEL (m) | | | S.C.D: SOLID TIMBER CORE DOOR | | | | | | | | |
| Existing walls to remain | | | F.F.L: FLOOR FINISH LEVEL | | | REFER TO THE SCHEDULE | | | | | | | | |
| New brick walls | | | C.L: CEILING LEVEL | | | S.D: ALUM. SLIDING DOOR | | | | | | | | |
| New brick veneer walls | | | N.G.L: NATURE GROUND LINE | | | REFER TO THE SCHEDULE | | | | | | | | |
| New timber stud walls | | | A.F.W: ALUM. FRAME WINDOWS | | | C.R.S: COLORBOND ROOF SHEETING | | | | | | | | |
| Existing to be demolished | | | REFER TO THE SCHEDULE (RTS) | | | REFER TO THE SCHEDULE | | | | | | | | |
| | | | W.B.C: WEATHER BOARD CLADDING (RTS) | | | F.B.W: FACE BRICK WORK | | | | | | | | |
| | | | SA: SMOKE ALARM (RTS) | | | REFER TO THE SCHEDULE | | | | | | | | |
| | | | M.H: METAL HANDRAIL (RTS) | | | t: tiles g: glass p: paint | | | | | | | | |
| | | | | | | b: brick | | | | | | | | |
| | | | | | | 23/05/2022 PRELIMINARY N | | | | | | | | |
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Single Dwelling

Certificate number: 1266701S

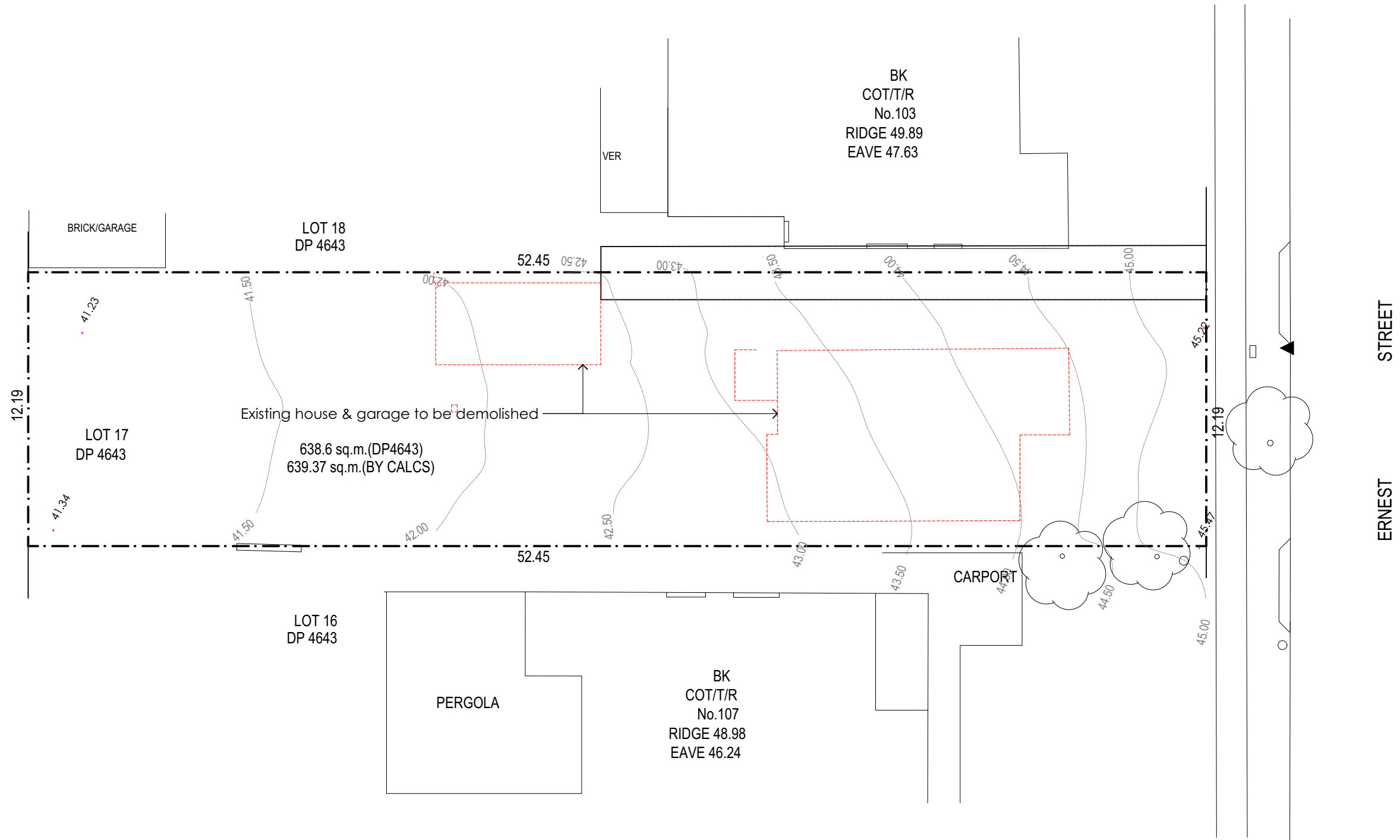
Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|--|---|-----------------|
| Landscape | | | |
| The applicant must plant indigenous or low water use species of vegetation throughout 115 square metres of the site. | ✓ | ✓ | |
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 258 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |
| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| General features | | | |
| The dwelling must not have more than 2 storeys. | ✓ | ✓ | ✓ |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain third level habitable attic room. | ✓ | ✓ | ✓ |
| Floor, walls and ceiling/roof | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-Value) | Other specifications | |
| floor - concrete slab on ground | nil | | |
| floor - suspended floor above garage, concrete | nil | | |
| external wall - cavity brick | 0.50 (or 1.17 including construction) | | |
| internal wall shared with garage - single skin masonry | nil | | |
| ceiling and roof - flat ceiling / pitched roof | ceiling: 4.25 (up), roof: thermocellular reflective | unventilated; medium (solar absorptance 0.475-0.70) | |
| Note | Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. | | |
| Note | In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. | | |
| Windows, glazed doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✓ | ✓ | ✓ |
| <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clearFor other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. | ✓ | ✓ | ✓ |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|---|--|------------------------|
| North facing | | | | | |
| BW03 | 900 | 1800 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| BW02 | 600 | 1200 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | none | 2-4 m high, 2-5 m away |
| GW01 | 1500 | 2800 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW02 | 1500 | 1600 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW03 | 1500 | 2100 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW03 | 1500 | 2100 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| FW01 | 600 | 2100 | aluminium, single, clear | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW03 | 5300 | 1500 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW04 | 600 | 1800 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW01 | 600 | 2100 | aluminium, single, clear | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| East facing | | | | | |
| GW04 | 1500 | 2500 | aluminium, single, clear | solid overhang 2000 mm, 400 mm above head of window or glazed door | not overshadowed |
| FD01 | 2100 | 2400 | aluminium, single, clear | solid overhang 2000 mm, 200 mm above head of window or glazed door | not overshadowed |
| FD01 | 2100 | 2400 | aluminium, single, clear | solid overhang 2000 mm, 200 mm above head of window or glazed door | not overshadowed |
| South facing | | | | | |
| BW03 | 900 | 1800 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| BW02 | 900 | 1290 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | none | 2-4 m high, 2-5 m away |
| GW05 | 900 | 1500 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW05 | 900 | 1500 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW05 | 900 | 1500 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| GW06 | 1200 | 1290 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | none | 2-4 m high, 2-5 m away |
| GW07 | 1200 | 1060 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | none | 2-4 m high, 2-5 m away |
| GW08 | 1200 | 2000 | aluminium, single, clear | none | 2-4 m high, 2-5 m away |
| FW01 | 600 | 2100 | aluminium, single, clear | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW01 | 600 | 2100 | aluminium, single, clear | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW02 | 600 | 1200 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW02 | 600 | 1200 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | eave 600 mm, 200 mm above head of window or glazed door | not overshadowed |
| West facing | | | | | |
| BD01 | 2100 | 2900 | aluminium, single, clear | solid overhang 500 mm, 200 mm above head of window or glazed door | not overshadowed |
| BD01 | 2100 | 2900 | aluminium, single, clear | solid overhang 500 mm, 200 mm above head of window or glazed door | not overshadowed |
| GD02 | 2400 | 3600 | aluminium, single, clear | solid overhang 3000 mm, 200 mm above head of window or glazed door | not overshadowed |
| GW03 | 1500 | 2100 | aluminium, single, clear | solid overhang 3000 mm, 200 mm above head of window or glazed door | not overshadowed |
| FD01 | 2100 | 2400 | aluminium, single, clear | solid overhang 2000 mm, 200 mm above head of window or glazed door | not overshadowed |
| FD01 | 2100 | 2400 | aluminium, single, clear | solid overhang 2000 mm, 200 mm above head of window or glazed door | not overshadowed |
| FW02 | 600 | 1200 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | solid overhang 2000 mm, 200 mm above head of window or glazed door | not overshadowed |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system. | | ✓ | ✓ |
| The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system. | | ✓ | ✓ |
| Heating system | | | |
| The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✓ | ✓ |
| The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study;at least 1 of the living / dining rooms;the kitchen;all bathrooms/toilets;the laundry;all hallways; | | ✓ | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling. | | ✓ | |
| The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. | | ✓ | |
| The applicant must install a fixed indoor or sheltered clothes drying line as part of the development. | | ✓ | |
| Legend | | | |
| In these commitments, "applicant" means the person carrying out the development. Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued. | | | |



DEMOLITION FLOOR PLAN 1:200

PROJECT NOTES

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LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

R.L: RELATIVE LEVEL (m)
F.F.L: FLOOR FINISH LEVEL
CL: CEILING LEVEL
N.G.L: NATURE GROUND LINE
A.F.W: ALUM. FRAME WINDOWS
W.B.C: WEATHER BOARD CLADDING (RTS)
S.A: SMOKE ALARM (RTS)
M.H: METAL HANDRAIL (RTS)

S.C.D: SOLID TIMBER CORE DOOR
REFER TO THE SCHEDULE
S.D: ALUM. SLIDING DOOR
REFER TO THE SCHEDULE
C.R.S: COLORBOND ROOF SHEETING
REFER TO THE SCHEDULE
F.B.W: FACE BRICK WORK
REFER TO THE SCHEDULE
ti: tiles
g: glass
p: paint
b: brick

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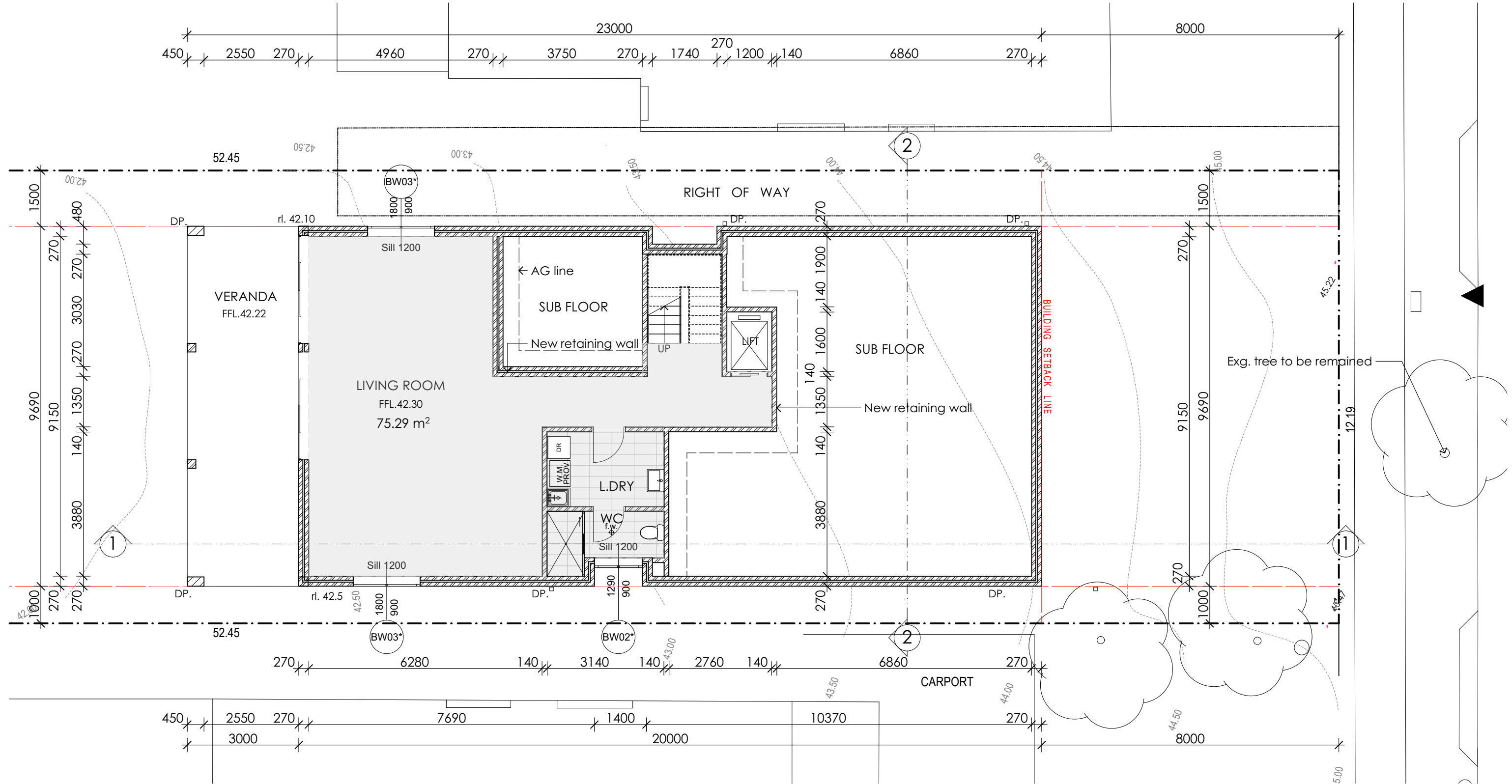
NK ARCHITECT
ARCHITECTURAL DESIGN
74 JOHN ST, CROYDON, NSW
PHONE (02) 8006 1268
MOB: 0406 987 868
NSW ARB: 7853

PROJECT: **PROPOSED TWO STOREY DWELLING**

AT: **105 ERNEST ST, LAKEMBA**
FOR: **MRS SHAHANA SATTAR**

DRAWING NAME: **_DEMOLITION PLAN**

Scale 1:200 @ A3 Drawing number AR-3
Date 23/05/2022 Pages 3 of 15
DEVELOPMENT APPLICATION
Plot Date: 23/05/2022



BASEMENT FLOOR PLAN **1:100**

PROJECT NOTES

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LEGEND

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- New brick walls
- New brick veneer walls
- New timber stud walls
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A.F.W: ALUM. FRAME WINDOWS
REFER TO THE SCHEDULE (RTS)
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SA: SMOKE ALARM (RTS)
M.H: METAL HANDRAIL (RTS)

S.C.D: SOLID TIMBER CORE DOOR
REFER TO THE SCHEDULE
S.D: ALUM. SLIDING DOOR
REFER TO THE SCHEDULE
C.R.S: COLORBOND ROOF SHEETING
REFER TO THE SCHEDULE
F.B.W: FACE BRICK WORK
REFER TO THE SCHEDULE
ti: tiles g: glass p: paint
b: brick

NK ARCHITECT
ARCHITECTURAL DESIGN
74 JOHN ST, CROYDON, NSW
PHONE (02) 8006 1268
MOB: 0406 987 868
NSW ARB: 7853

PROJECT: PROPOSED TWO STOREY DWELLING

AT: 105 ERNEST ST, LAKEMBA
FOR: MRS SHAHANA SATTAR

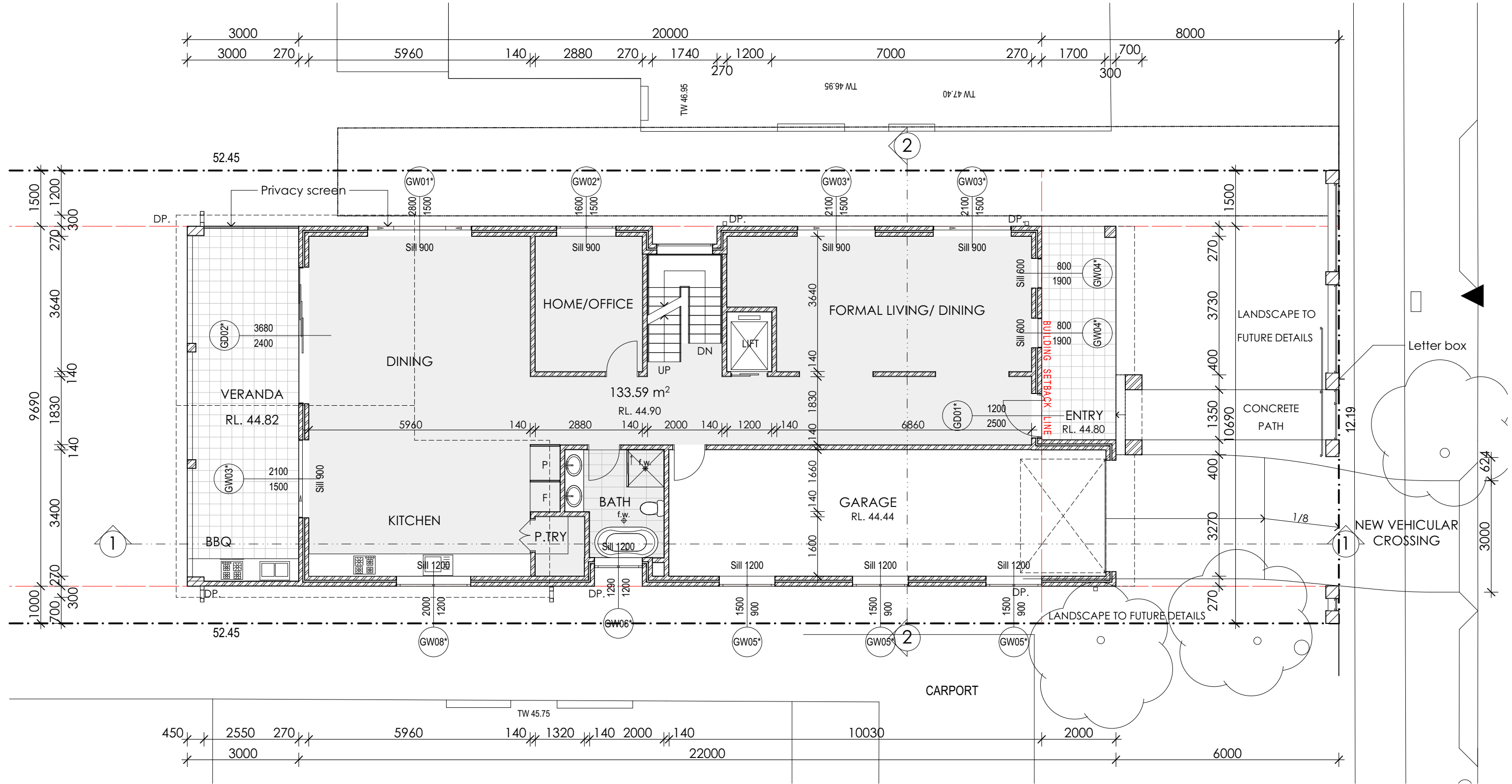
DRAWING NAME _BASEMENT FLOOR PLAN

Scale 1:100 @ A3 Drawing number AR-4

Date 23/05/2022 Pages 4 of 15

DEVELOPMENT APPLICATION

Plot Date: 23/05/2022



GROUND FLOOR PLAN 1:100

PROJECT NOTES

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LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

R.L.: RELATIVE LEVEL (m)
F.F.L.: FLOOR FINISH LEVEL
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REFER TO THE SCHEDULE
S.D.: ALUM. SLIDING DOOR
REFER TO THE SCHEDULE
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REFER TO THE SCHEDULE
F.B.W.: FACE BRICK WORK
REFER TO THE SCHEDULE
t: tiles g: glass p: paint
b: brick

| | | |
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| 23/05/2022 | PRELIMINARY | N |
| DATE | ISSUE | DRAWN BY |

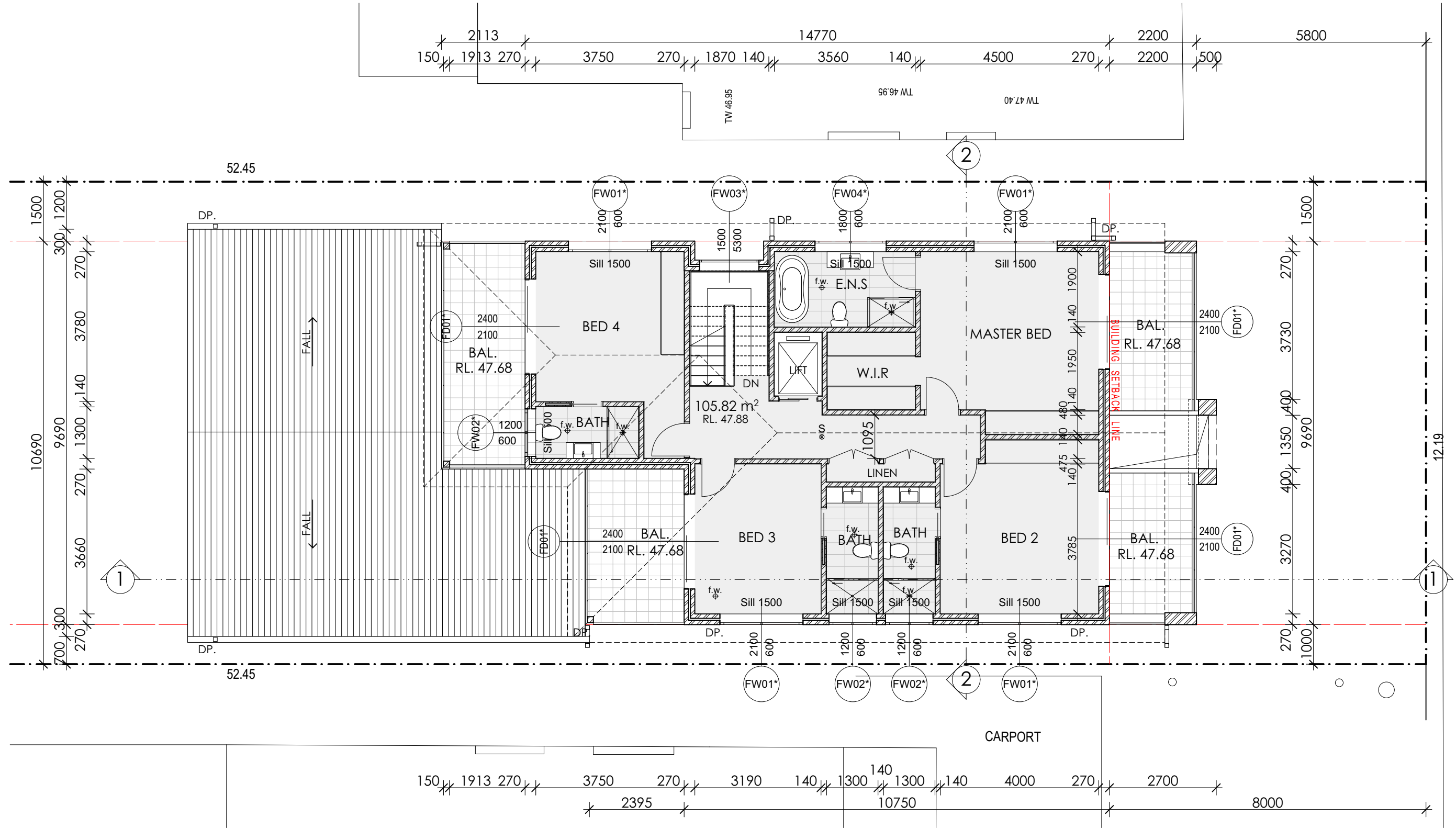
NK ARCHITECT
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74 JOHN ST, CROYDON, NSW
PHONE (02) 8006 1268
MOB: 0406 987 868
NSW ARB: 7853

PROJECT: **PROPOSED TWO STOREY DWELLING**

AT: **105 ERNEST ST, LAKEMBA**
FOR: **MRS SHAHANA SATTAR**

DRAWING NAME: **_GROUND FLOOR PLAN**

| | |
|--------------------------------|--------------------------|
| Scale 1:100 | @ A3 Drawing number AR-5 |
| Date 23/05/2022 | Pages 5 of 15 |
| DEVELOPMENT APPLICATION | |
| Plot Date: | 23/05/2022 |



FIRST FLOOR PLAN

1:100

PROJECT NOTES

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LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

R.L.: RELATIVE LEVEL (m)
F.F.L.: FLOOR FINISH LEVEL
CL.: CEILING LEVEL
N.G.L.: NATURE GROUND LINE
A.F.W.: ALUM. FRAME WINDOWS
W.B.C.: WEATHER BOARD CLADDING (RTS)
S.A.: SMOKE ALARM (RTS)
M.H.: METAL HANDRAIL (RTS)

S.C.D.: SOLID TIMBER CORE DOOR
REFER TO THE SCHEDULE
S.D.: ALUM. SLIDING DOOR
REFER TO THE SCHEDULE
C.R.S.: COLORBOND ROOF SHEETING
REFER TO THE SCHEDULE
F.B.W.: FACE BRICK WORK
REFER TO THE SCHEDULE
t: tiles
g: glass
p: paint
b: brick

23/05/2022 PRELIMINARY N

DATE ISSUE DRAWN BY

NK ARCHITECT
ARCHITECTURAL DESIGN
74 JOHN ST, CROYDON, NSW
PHONE (02) 8006 1268
MOB: 0406 987 868
NSW ARB: 7853

PROJECT: **PROPOSED TWO STOREY DWELLING**

AT: **105 ERNEST ST, LAKEMBA**
FOR: **MRS SHAHANA SATTAR**

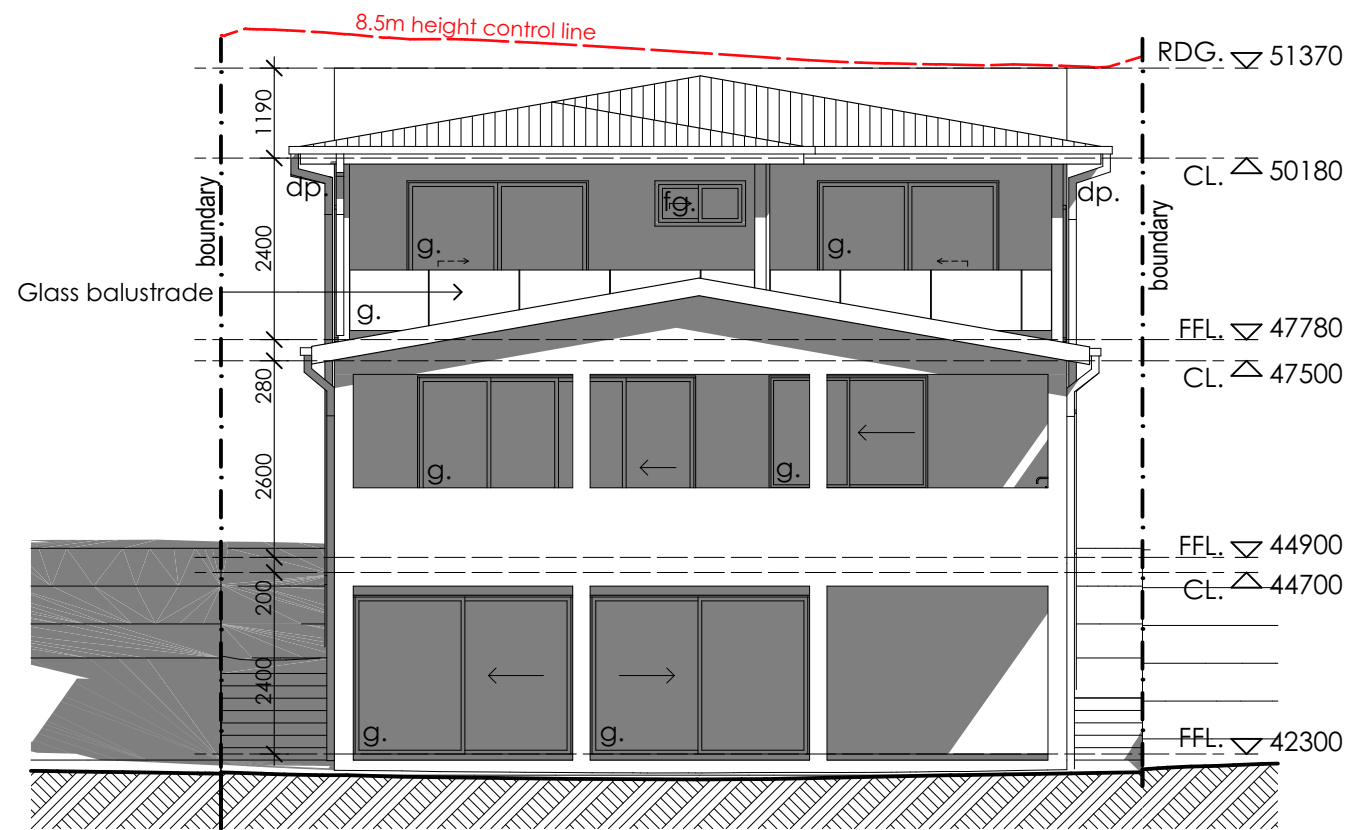
DRAWING NAME: **_FIRST FLOOR PLAN**

Scale 1:100 @ A3 Drawing number AR-6

Date 23/05/2022 Pages 6 of 15

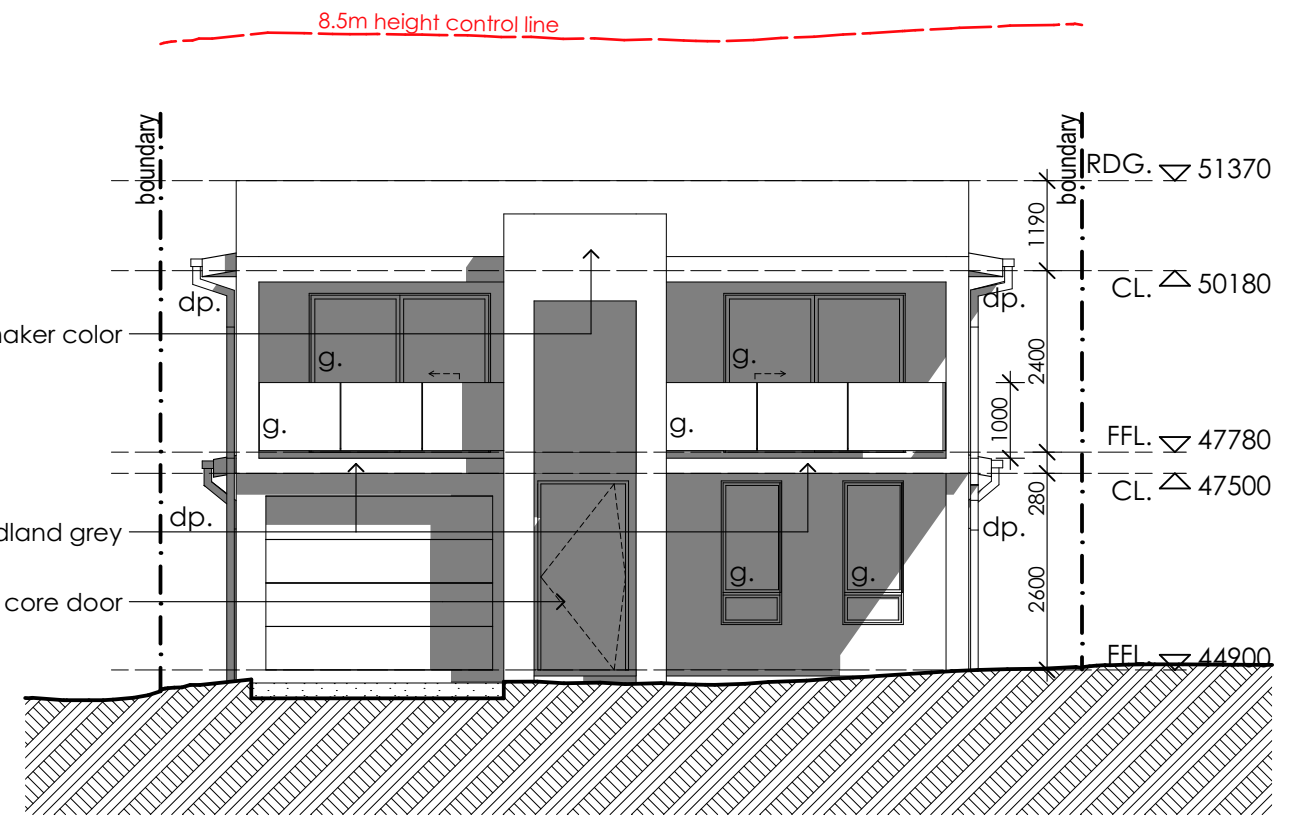
DEVELOPMENT APPLICATION

Plot Date: 23/05/2022



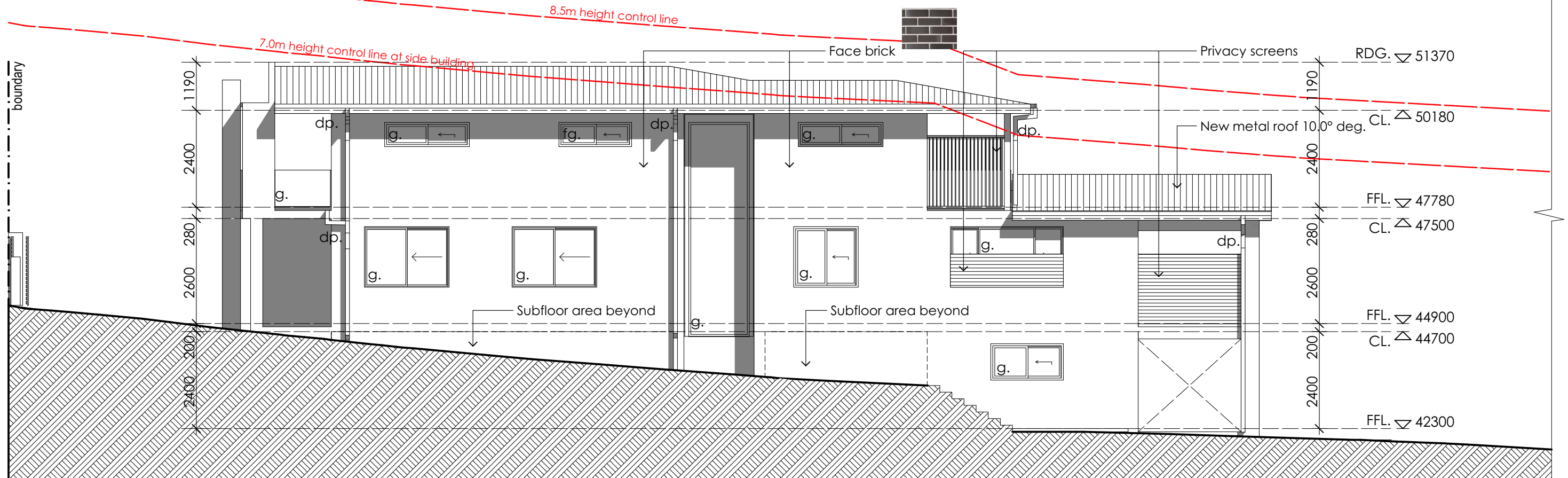
WEST ELEVATION

1:100



EAST ELEVATION

1:100



NORTH ELEVATION

1:100

PROJECT NOTES

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- Copyright of this drawing is vested in NK ARCHITECT

LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

R.L: RELATIVE LEVEL (m)
FFL: FLOOR FINISH LEVEL
CL: CEILING LEVEL
N.G.L: NATURE GROUND LINE
A.F.W: ALUM. FRAME WINDOWS
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23/05/2022

PRELIMINARY

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DATE

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DRAWN BY



ARCHITECTURAL DESIGN
74 JOHN ST, CROYDON, NSW
PHONE (02) 8006 1268
MOB: 0406 987 868
NSW ARB: 7853

PROJECT: PROPOSED TWO STOREY DWELLING

AT: 105 ERNEST ST, LAKEMBA
FOR: MRS SHAHANA SATTAR

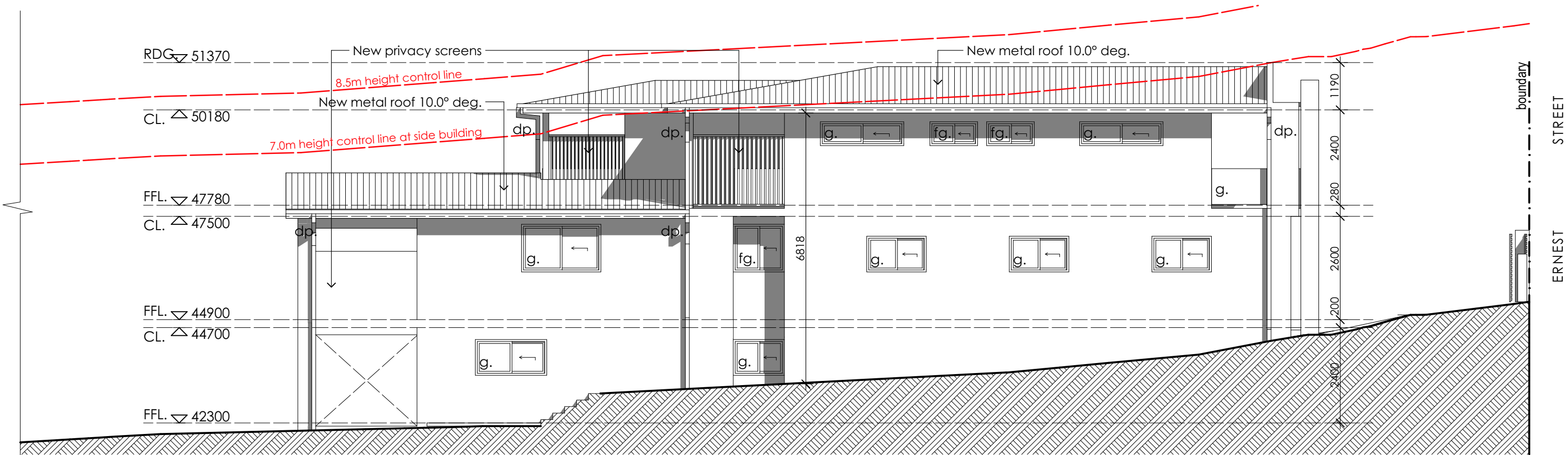
DRAWING NAME: _ELEVATIONS

Scale 1:100, 1:6.54, @ A3 Drawing number AR-7

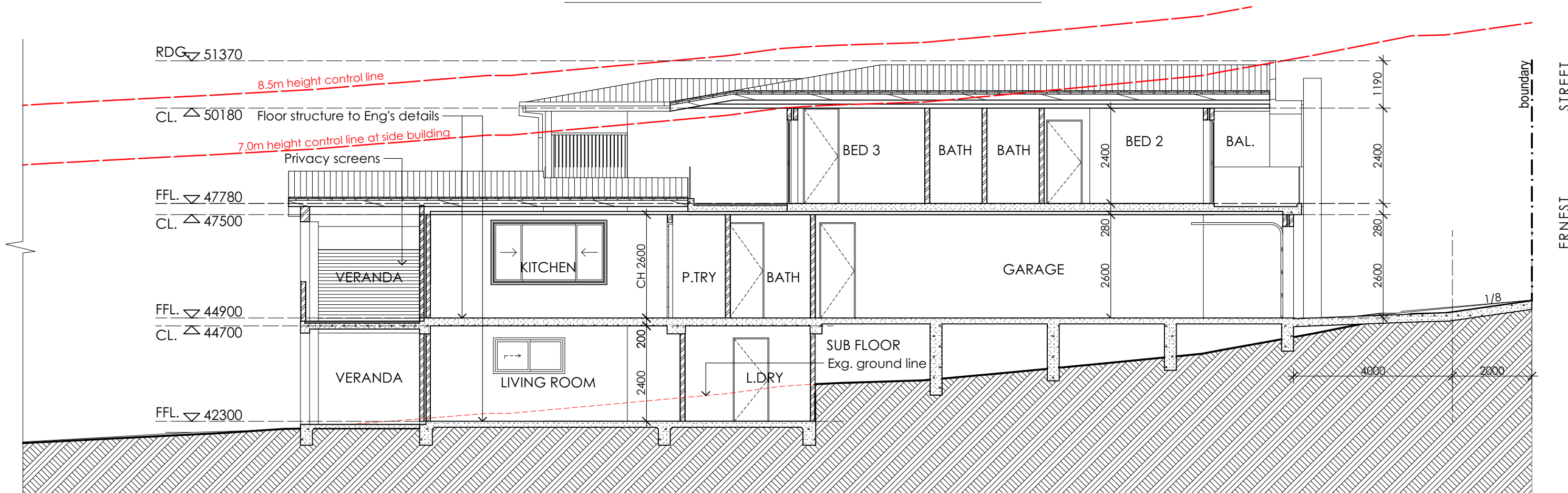
Date 23/05/2022 Pages 7 of 15

DEVELOPMENT APPLICATION

Plot Date: 23/05/2022



SOUTH ELEVATION 1:100



SECTION 1-1 1:100

| | | | | | | | | | | | | | | | | | | | | |
|---|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <div>PROJECT NOTES</div> <div><ul style="list-style-type: none">• DO NOT SCALE DRAWINGS.• FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE.• VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DISCREPANCIES SHALL BE REFERRED TO THE AUTHOR.• THIS DRAWING IS STRICTLY COPYRIGHT AND SHALL NOT BE COPIED, REPRODUCED, LENT OR USED FOR ANY PURPOSE OTHER THAN AS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION TRADE SECTIONS, INCLUDING ALL SCHEDULES, BUILDER TO COORDINATE BETWEEN ALL TRADES. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND HYDRAULIC ENGINEERING SERVICES CONSULTANT DRAWINGS, NOTES, SPECIFICATIONS AND SCHEDULES.<div>© Copyright of this drawing is vested in NK ARCHITECT</div></div> | | | <div>LEGEND</div> <div><div><div></div>Existing walls to remain</div><div><div></div>New brick walls</div><div><div></div>New brick veneer walls</div><div><div></div>New timber stud walls</div><div><div></div>Existing to be demolished</div></div> | | | <div><div><div>R.L: RELATIVE LEVEL (m)</div><div>F.F.L: FLOOR FINISH LEVEL</div><div>C.L: CEILING LEVEL</div><div>N.G.L: NATURE GROUND LINE</div><div>A.F.W: ALUM. FRAME WINDOWS</div><div>REFER TO THE SCHEDULE (RTS)</div><div>W.B.C: WEATHER BOARD CLADDING (RTS)</div><div>S.A: SMOKE ALARM (RTS)</div><div>M.H: METAL HANDRAIL (RTS)</div></div><div><div>S.C.D: SOLID TIMBER CORE DOOR</div><div>REFER TO THE SCHEDULE</div><div>S.D: ALUM. SLIDING DOOR</div><div>REFER TO THE SCHEDULE</div><div>C.R.S: COLORBOND ROOF SHEETING</div><div>REFER TO THE SCHEDULE</div><div>F.B.W: FACE BRICK WORK</div><div>REFER TO THE SCHEDULE</div><div>t: tiles g: glass p: paint</div><div>b: brick</div></div></div> | | | <div><div><div></div><div></div><div>23/05/2022</div><div>PRELIMINARY</div><div>N</div></div><div><div>DATE</div><div>ISSUE</div><div>DRAWN BY</div></div></div> | | | <div><div><div>NK ARCHITECT</div><div>ARCHITECTURAL DESIGN</div><div>74 JOHN ST, CROYDON, NSW</div><div>PHONE (02) 8006 1268</div><div>MOB: 0406 987 868</div><div>NSW ARB: 7853</div></div></div> | | | <div><div>PROJECT: PROPOSED TWO STOREY DWELLING</div><div>AT: 105 ERNEST ST, LAKEMBA</div><div>FOR: MRS SHAHANA SATTAR</div><div>DRAWING NAME _ELEVATION & SECTION</div></div> | | | <div><div>Scale 1:100 @ A3 Drawing number AR-8</div><div>Date 23/05/2022 Pages 8 of 15</div><div>DEVELOPMENT APPLICATION</div><div>Plot Date: 23/05/2022</div></div> | | |
|---|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|

SOIL CONSERVATION NOTES

A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATILE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

B. DURING CONSTRUCTION

1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.

2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.

3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.

4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.

5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

LEGEND

UNDISTURBED VEGETATION

STOCKPILE

BARRIER FENCE

GEOTEXTILE FABRIC

PORTABLE TOILET

SEDIMENT FENCE

TEMPORARY CONSTRUCTION EXIT

DRAINAGE AREA 0.4ha MAX. SLOPE GRADIENT 1:2 MAX. SLOPE LENGTH 40m MAX.

ANGLE FIRST STAKE TOWARDS PREVIOUSLY LAID STRAW BALE.

STAKES DRIVEN 0.6m INTO GROUND

DISTURBED AREA

UNDISTURBED AREA

100 DEEP

STRAW BALE SEDIMENT FILTER

GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

SCALE: NTS

SEDIMENT CONTROL PLAN

1:200

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Copyright of this drawing is vested in NK ARCHITECT

LEGEND

Existing walls to remain

New brick walls

New brick veneer walls

New timber stud walls

Existing to be demolished

R.L: RELATIVE LEVEL (m)

F.F.L: FLOOR FINISH LEVEL

C.L: CEILING LEVEL

N.G.L: NATURE GROUND LINE

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| | | |
|------------|-------------|----------|
| 23/05/2022 | PRELIMINARY | N |
| DATE | ISSUE | DRAWN BY |

NK ARCHITECT

ARCHITECTURAL DESIGN

74 JOHN ST, CROYDON, NSW

PHONE (02) 8006 1268

MOB: 0406 987 868

NSW ARB: 7853

PROJECT: **PROPOSED TWO STOREY DWELLING**

AT: **105 ERNEST ST, LAKEMBA**

FOR: **MRS SHAHANA SATTAR**

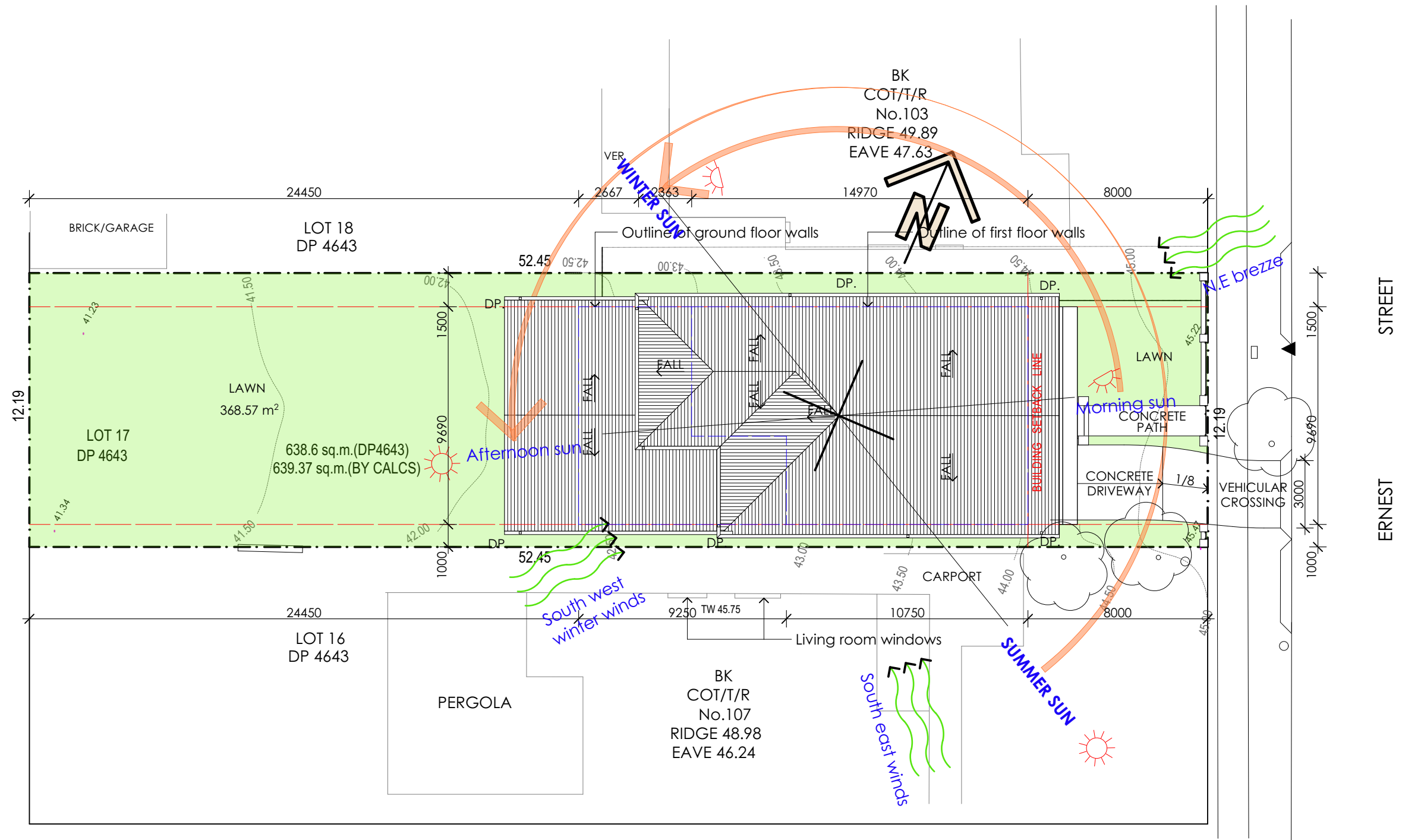
DRAWING NAME: **_SEDIMENT CONTROL PLAN**

Scale 1:200 @ A3 Drawing number AR-9

Date 23/05/2022 Pages 9 of 15

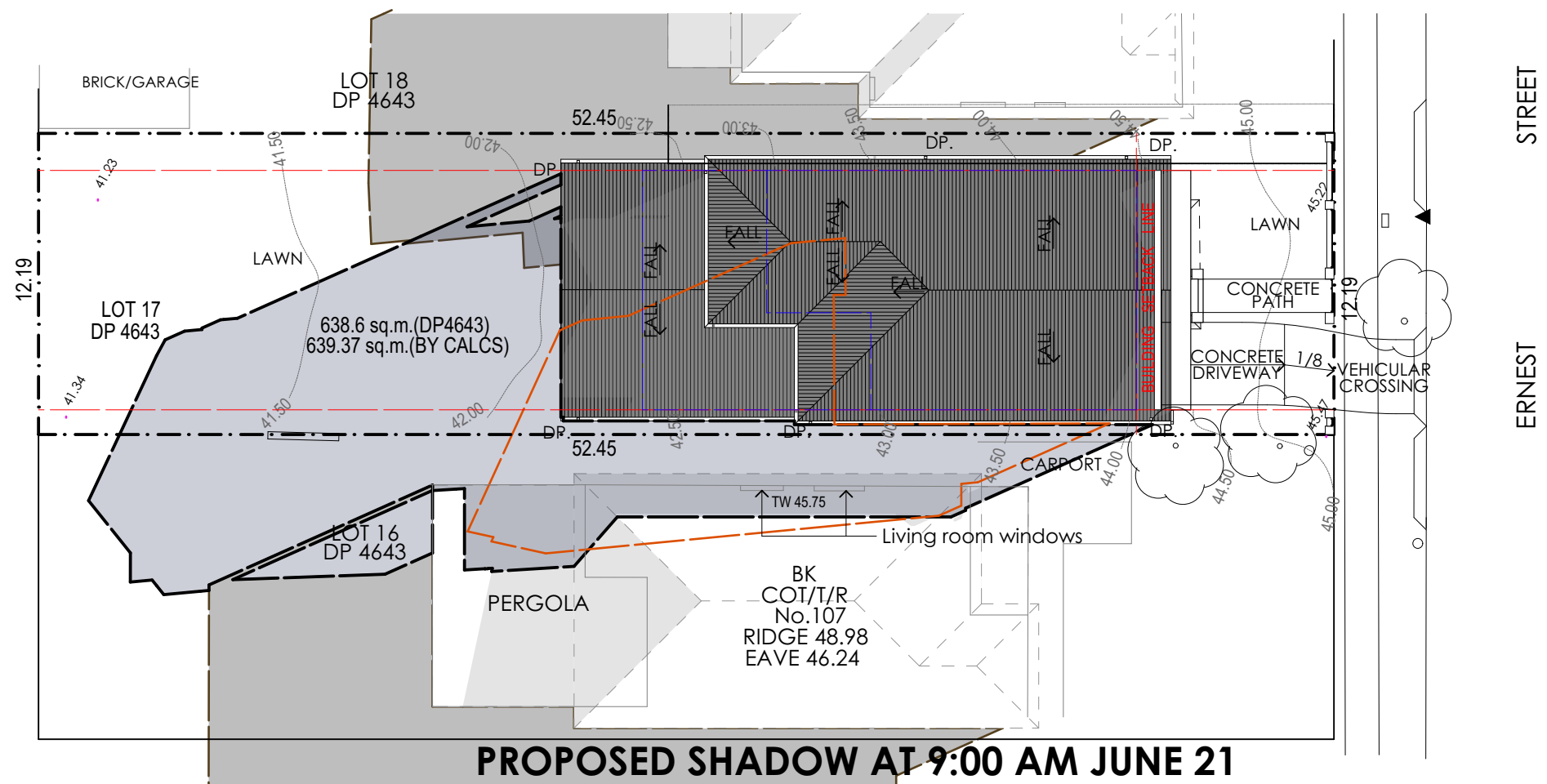
DEVELOPMENT APPLICATION

Plot Date: 23/05/2022

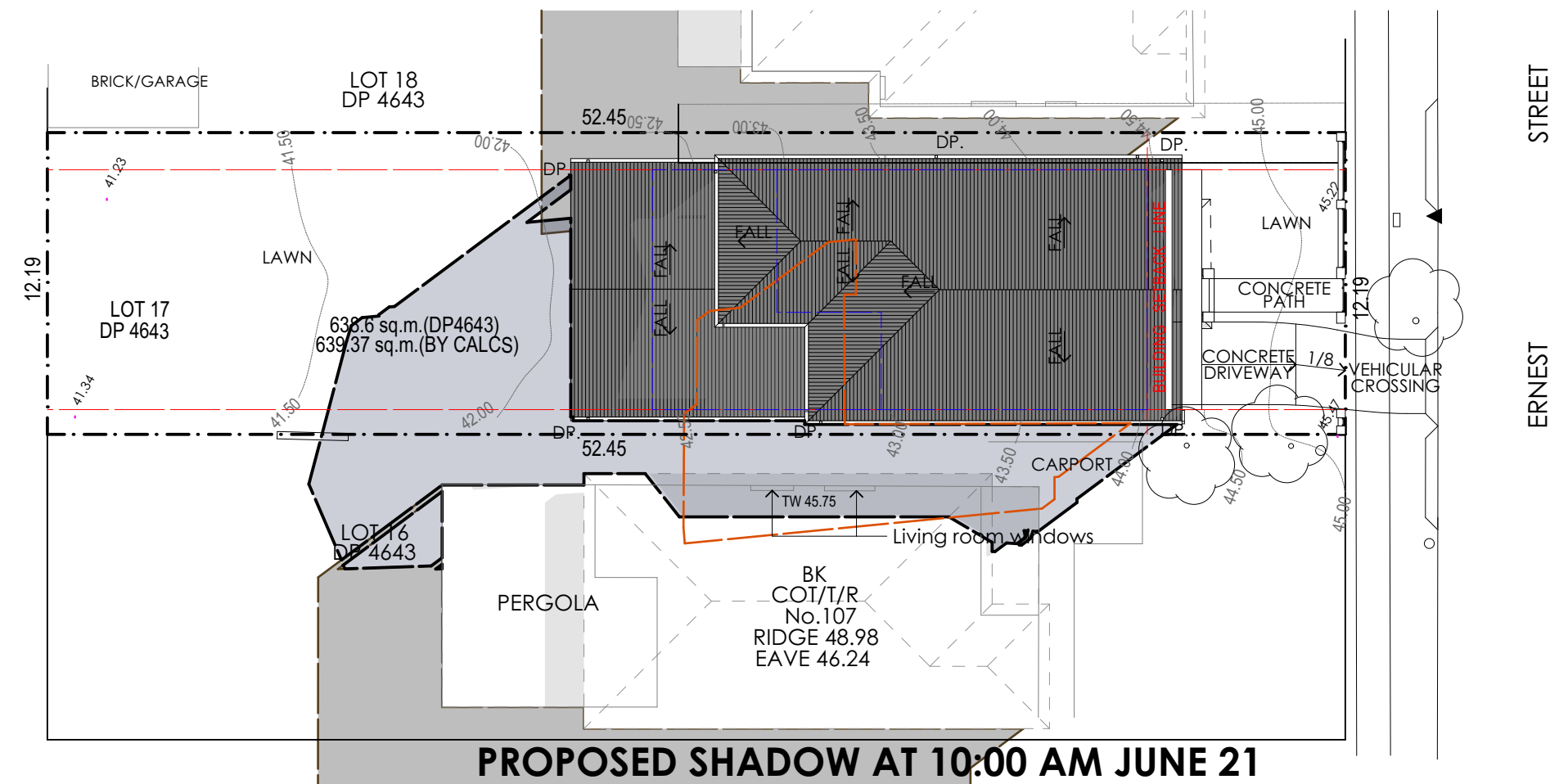


SITE ANALYSIS AND LANDSCAPE CALCULATION **1:200**

LANDSCAPE AREA: 368.57 SQM



PROPOSED SHADOW AT 9:00 AM JUNE 21



PROPOSED SHADOW AT 10:00 AM JUNE 21

NO REDUCTION EXISTING SOLAR ACCESS TO THE LIVING ROOM OF ADJOINING PROPERTY No. 107

- EXISTING SHADOW
- PROPOSED SHADOW
- ADJOINING SHADOW

PROJECT NOTES

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23/05/2022 PRELIMINARY N

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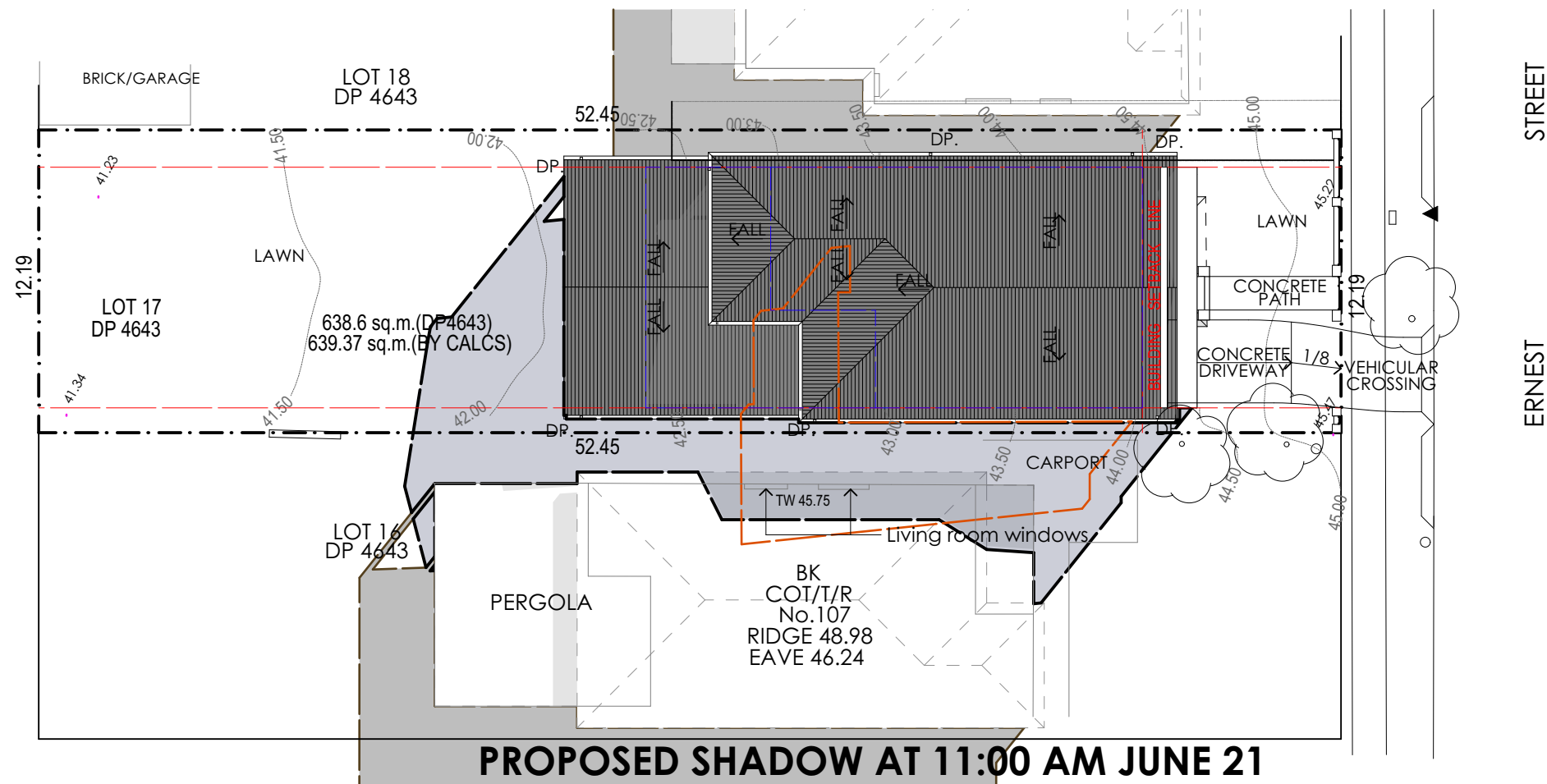
DRAWING NAME: **_SHADOW DIGRAM-JUNE 21 (1)**

Scale 1:250 @ A3 Drawing number AR-11

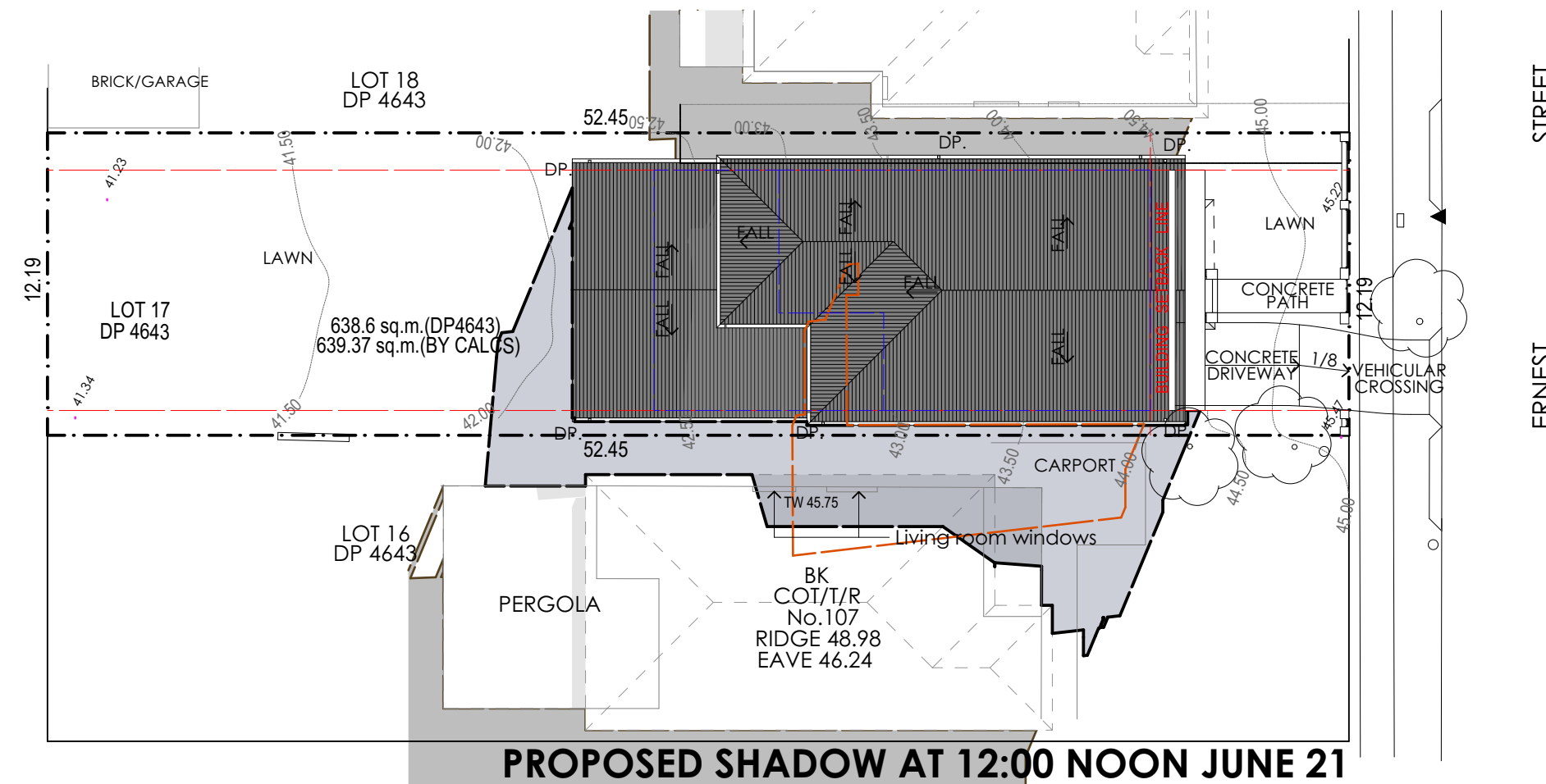
Date 23/05/2022 Pages 11 of 15

DEVELOPMENT APPLICATION

Plot Date: 23/05/2022



PROPOSED SHADOW AT 11:00 AM JUNE 21



PROPOSED SHADOW AT 12:00 NOON JUNE 21

NO REDUCTION EXISTING SOLAR ACCESS TO THE LIVING ROOM OF ADJOINING PROPERTY No. 107

- EXISTING SHADOW
- PROPOSED SHADOW
- ADJOINING SHADOW

PROJECT NOTES

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LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

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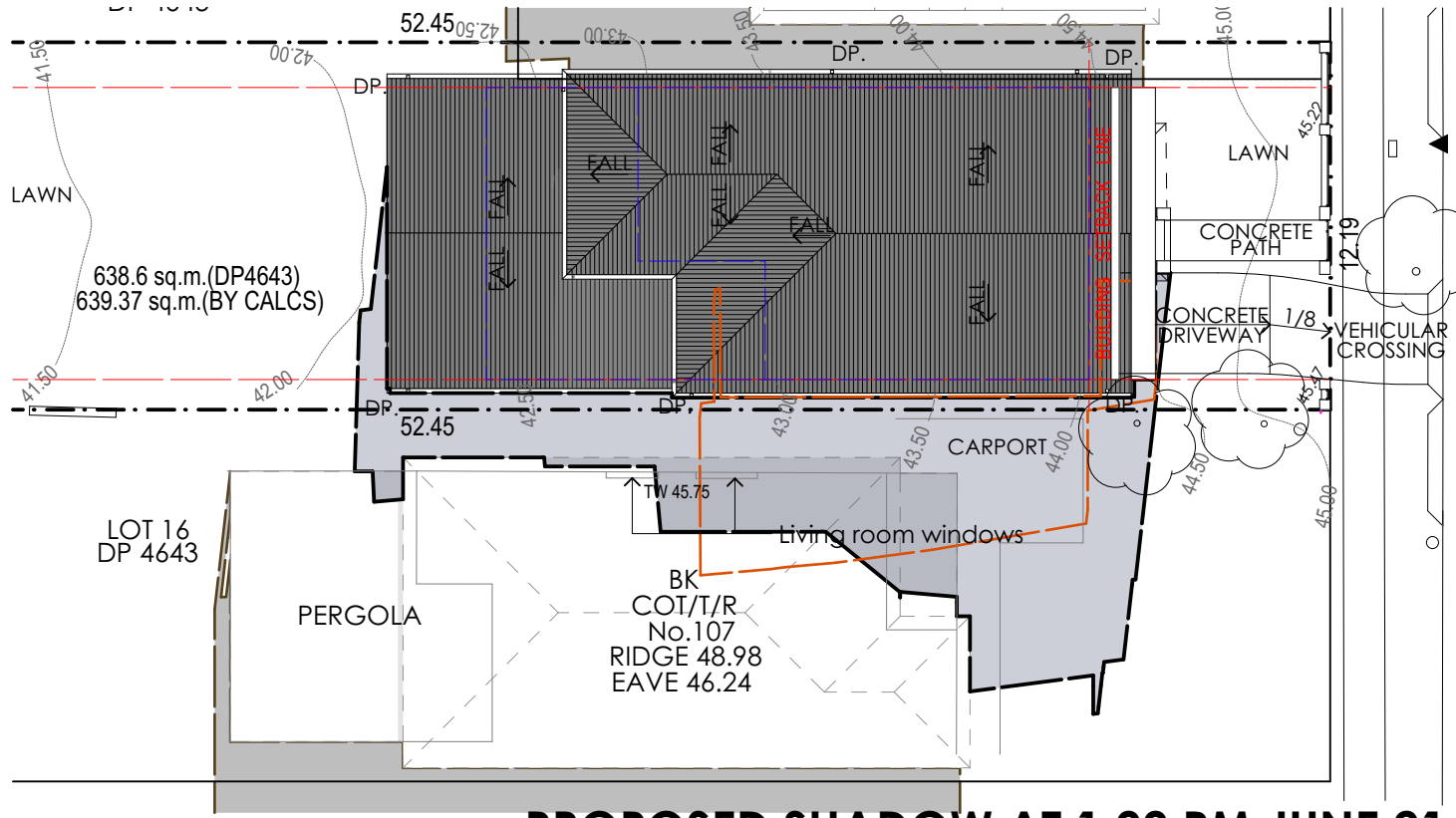
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Scale 1:250 @ A3 Drawing number AR-12

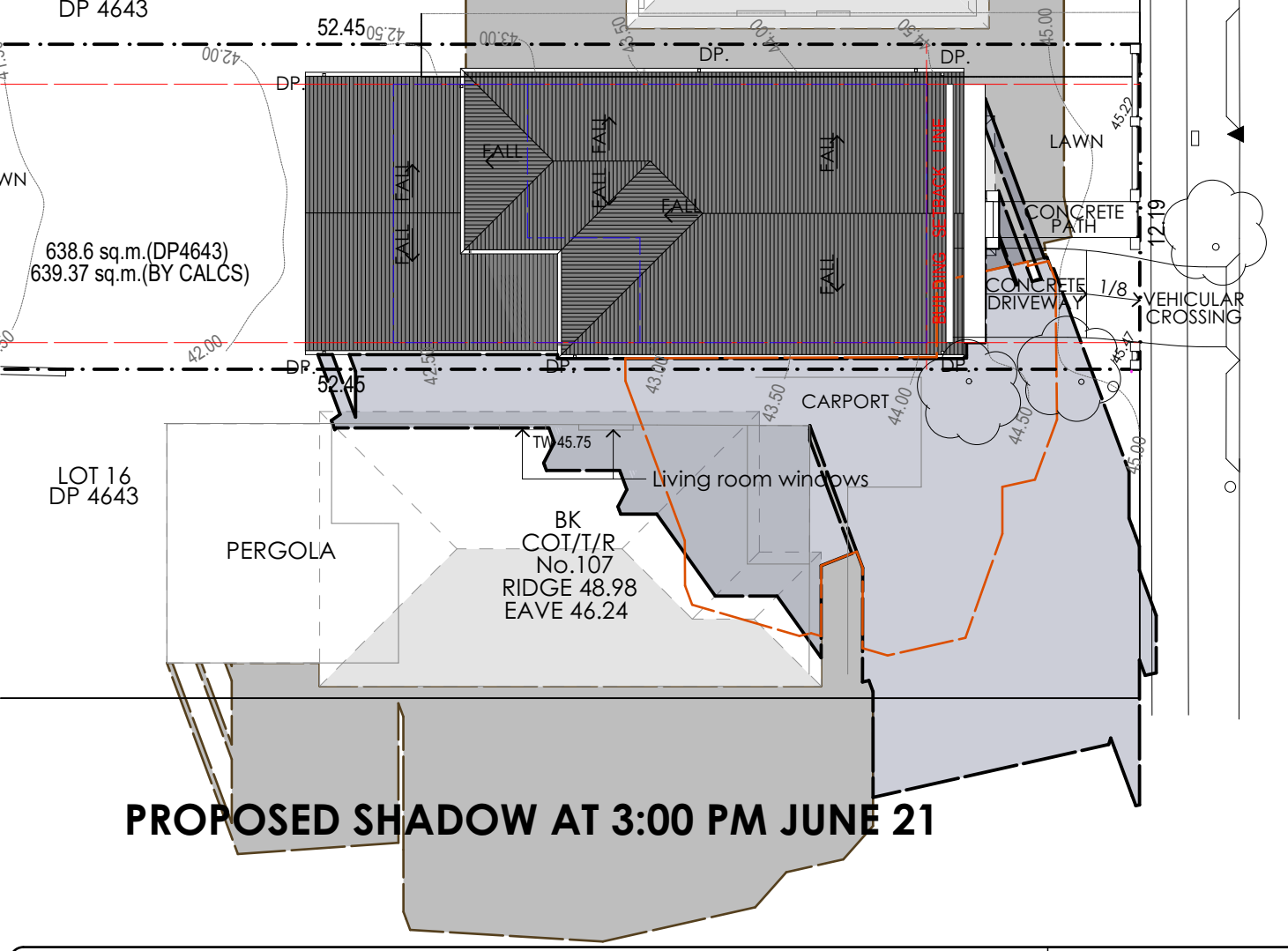
Date 23/05/2022 Pages 12 of 15

DEVELOPMENT APPLICATION

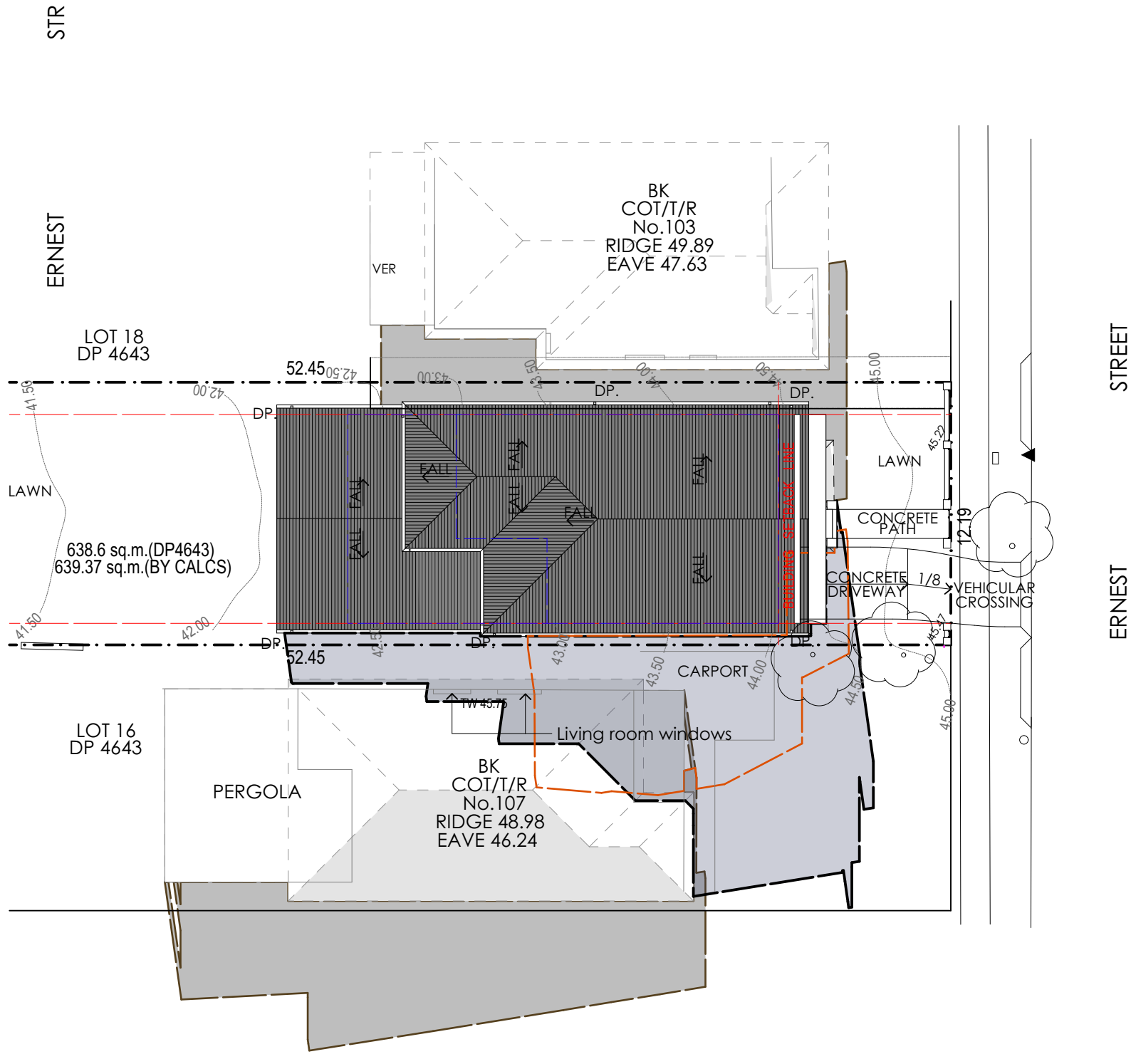
Plot Date: 23/05/2022



PROPOSED SHADOW AT 1:00 PM JUNE 21



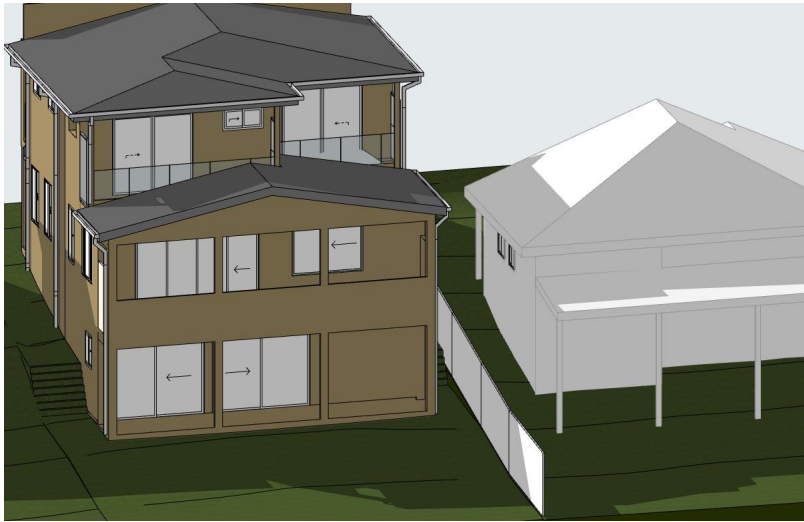
PROPOSED SHADOW AT 3:00 PM JUNE 21



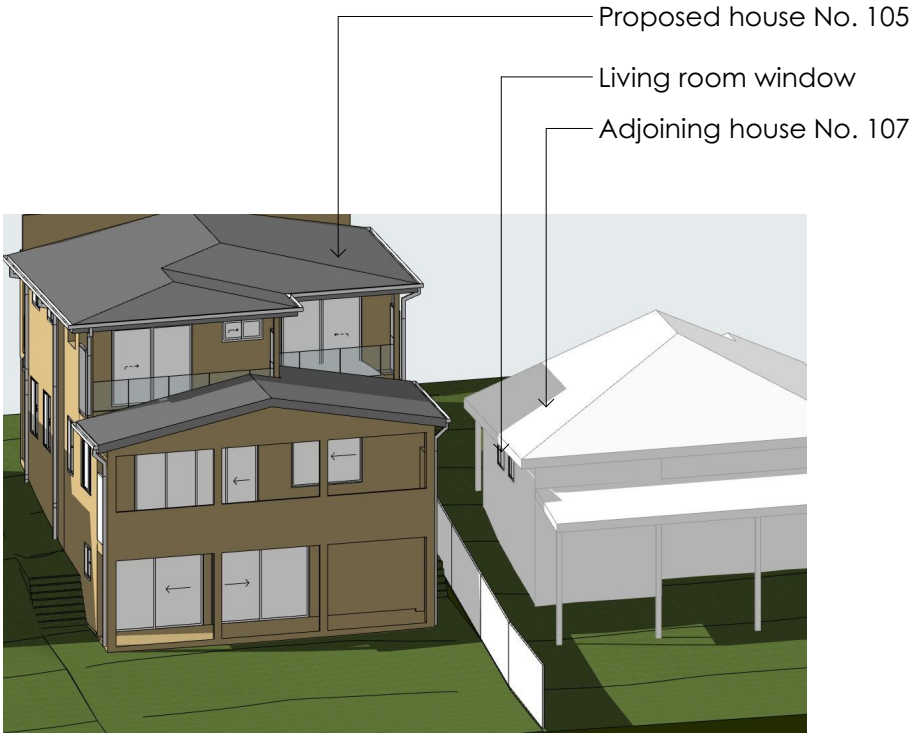
PROPOSED SHADOW AT 2:00 PM JUNE 21

NO REDUCTION EXISTING SOLAR ACCESS TO THE LIVING ROOM OF ADJOINING PROPERTY No. 107

- EXISTING SHADOW
- PROPOSED SHADOW
- ADJOINING SHADOW

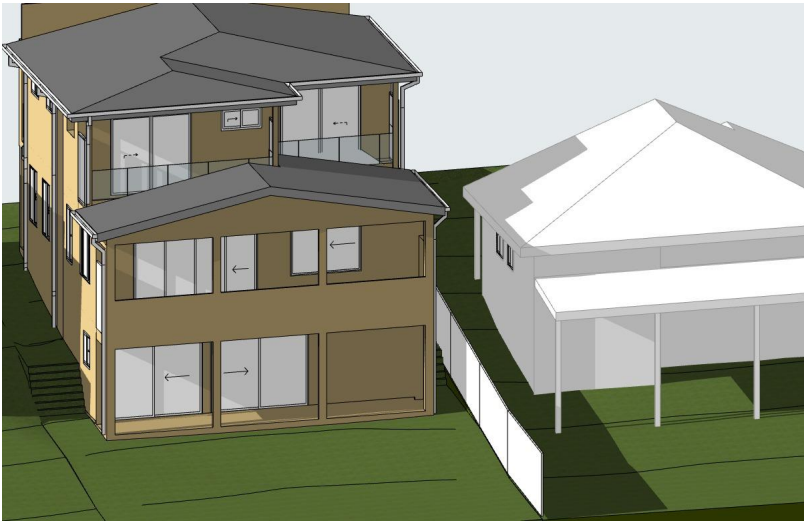


PROPOSED JUNE 21 AT 9:00 AM

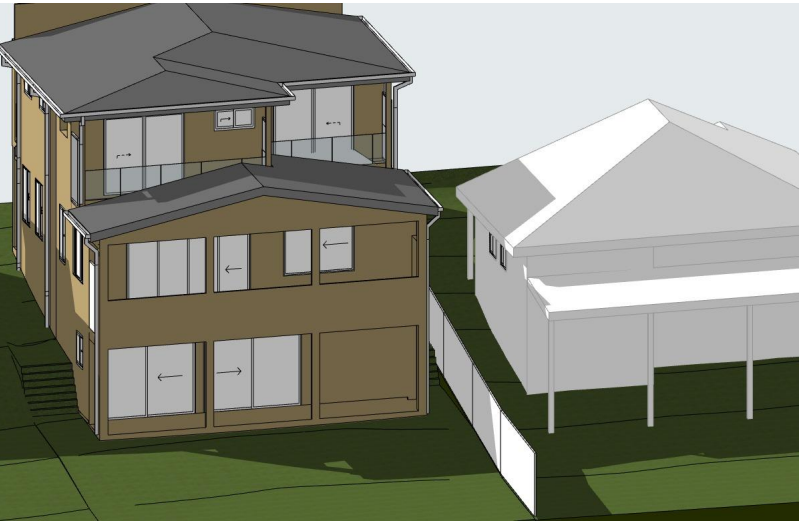


PROPOSED JUNE 21 AT 12:00 NOON

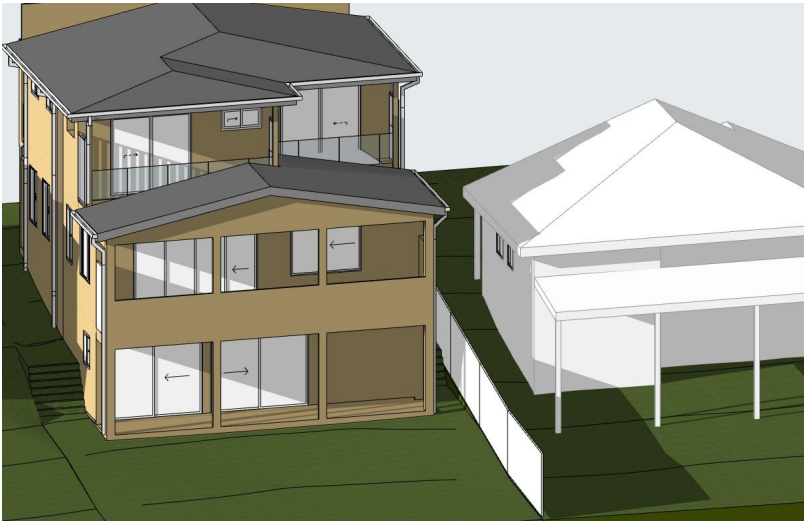
No over cast of the proposed building from 11am on to principal private open space of house No. 107



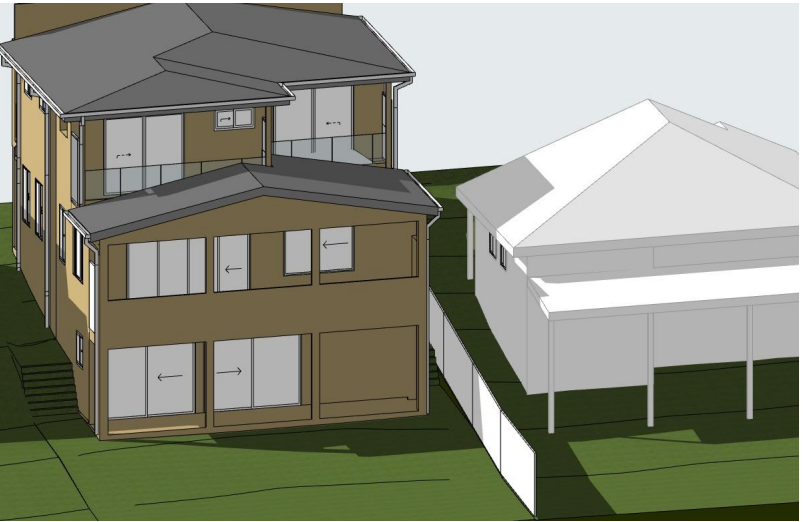
PROPOSED JUNE 21 AT 2:00 PM



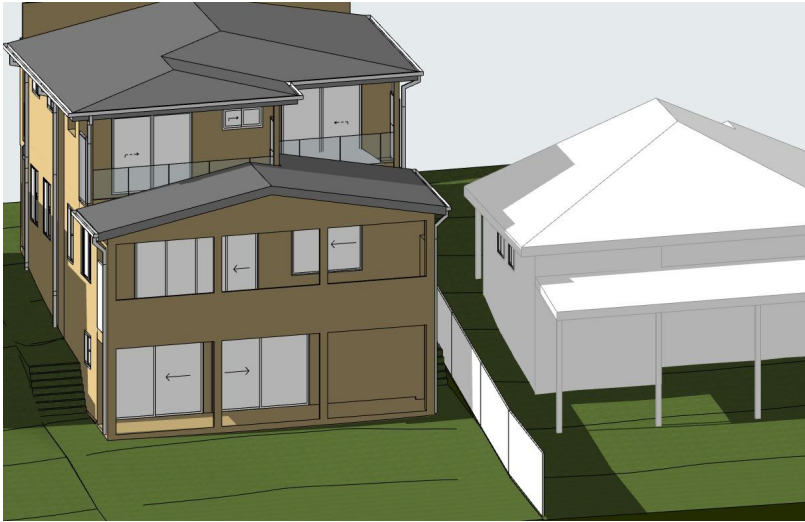
PROPOSED JUNE 21 AT 10:00 AM



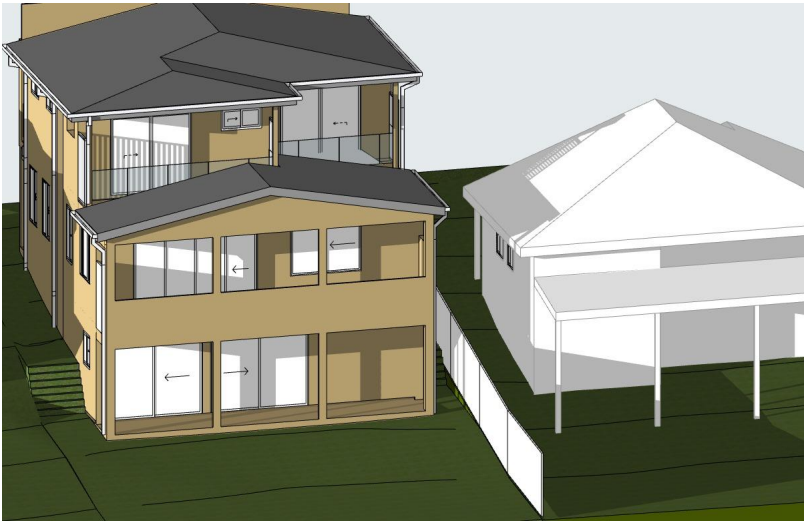
PROPOSED JUNE 21 AT 3:00 PM



PROPOSED JUNE 21 AT 11:00 AM

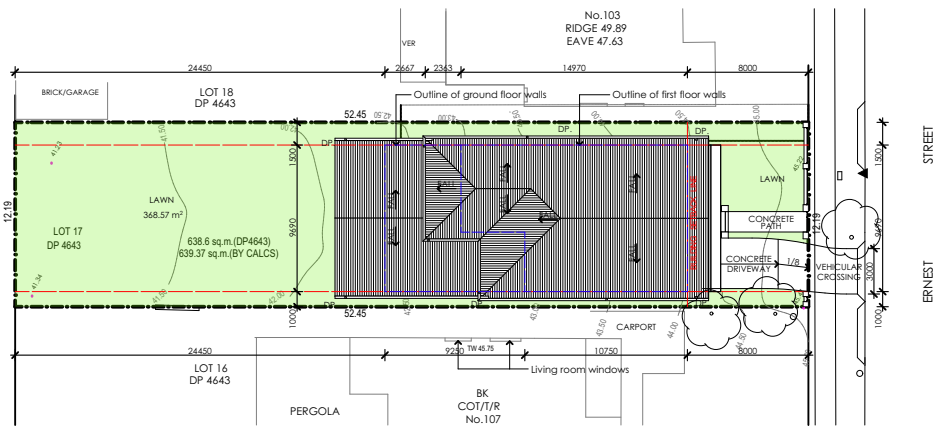


PROPOSED JUNE 21 AT 1:00 PM



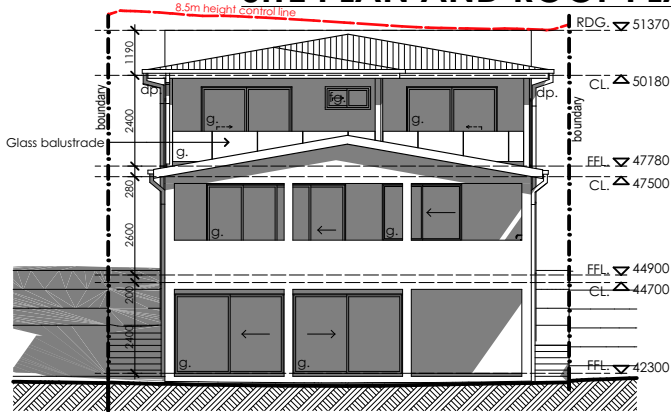
PROPOSED JUNE 21 AT 4:00 PM

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|--|--|---|---|--|------------|-------------|---|------|-------|----------|---|--|--|
| <p>PROJECT NOTES</p> <ul style="list-style-type: none">• DO NOT SCALE DRAWINGS.• FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE.• VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DISCREPANCIES SHALL BE REFERRED TO THE AUTHOR.• THIS DRAWING IS STRICTLY COPYRIGHT AND SHALL NOT BE COPIED, REPRODUCED, LENT OR USED FOR ANY PURPOSE OTHER THAN AS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION TRADE SECTIONS, INCLUDING ALL SCHEDULES. BUILDER TO COORDINATE BETWEEN ALL TRADES. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND HYDRAULIC ENGINEERING SERVICES CONSULTANT DRAWINGS, NOTES, SPECIFICATIONS AND SCHEDULES. <p>© Copyright of this drawing is vested in NK ARCHITECT</p> | <p>LEGEND</p> <ul style="list-style-type: none">Existing walls to remainNew brick wallsNew brick veneer wallsNew timber stud wallsExisting to be demolished | <p>R.L: RELATIVE LEVEL (m) F.F.L: FLOOR FINISH LEVEL CL: CEILING LEVEL N.G.L: NATURE GROUND LINE A.F.W: ALUM. FRAME WINDOWS REFER TO THE SCHEDULE (RTS) W.B.C: WEATHER BOARD CLADDING (RTS) SA: SMOKE ALARM (RTS) M.H: METAL HANDRAIL (RTS)</p> | <p>S.C.D: SOLID TIMBER CORE DOOR REFER TO THE SCHEDULE S.D: ALUM. SLIDING DOOR REFER TO THE SCHEDULE C.R.S: COLORBOND ROOF SHEETING REFER TO THE SCHEDULE F.B.W: FACE BRICK WORK REFER TO THE SCHEDULE ti: tiles g: glass p: paint b: brick</p> | <table><tr><td>23/05/2022</td><td>PRELIMINARY</td><td>N</td></tr><tr><td>DATE</td><td>ISSUE</td><td>DRAWN BY</td></tr></table> | 23/05/2022 | PRELIMINARY | N | DATE | ISSUE | DRAWN BY | <p>NK ARCHITECT ARCHITECTURAL DESIGN 74 JOHN ST, CROYDON, NSW PHONE (02) 8006 1268 MOB: 0406 987 868 NSW ARB: 7853</p> | <p>PROJECT: PROPOSED TWO STOREY DWELLING AT: 105 ERNEST ST, LAKEMBA FOR: MRS SHAHANA SATTAR</p> <p>DRAWING NAME _SHADOW ON ELEVATION - PROPOSED</p> | <p>Scale 1:800 @ A3 Drawing number AR-14 Date 23/05/2022 Pages 14 of 15</p> <p>DEVELOPMENT APPLICATION</p> <p>Plot Date: 23/05/2022</p> |
| 23/05/2022 | PRELIMINARY | N | | | | | | | | | | | |
| DATE | ISSUE | DRAWN BY | | | | | | | | | | | |

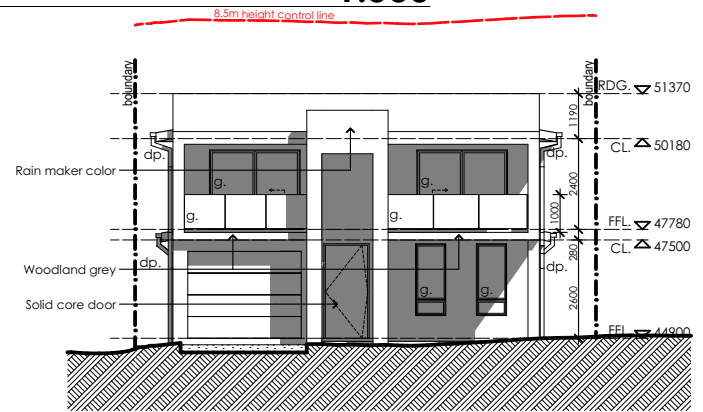


SITE PLAN AND ROOF PLAN

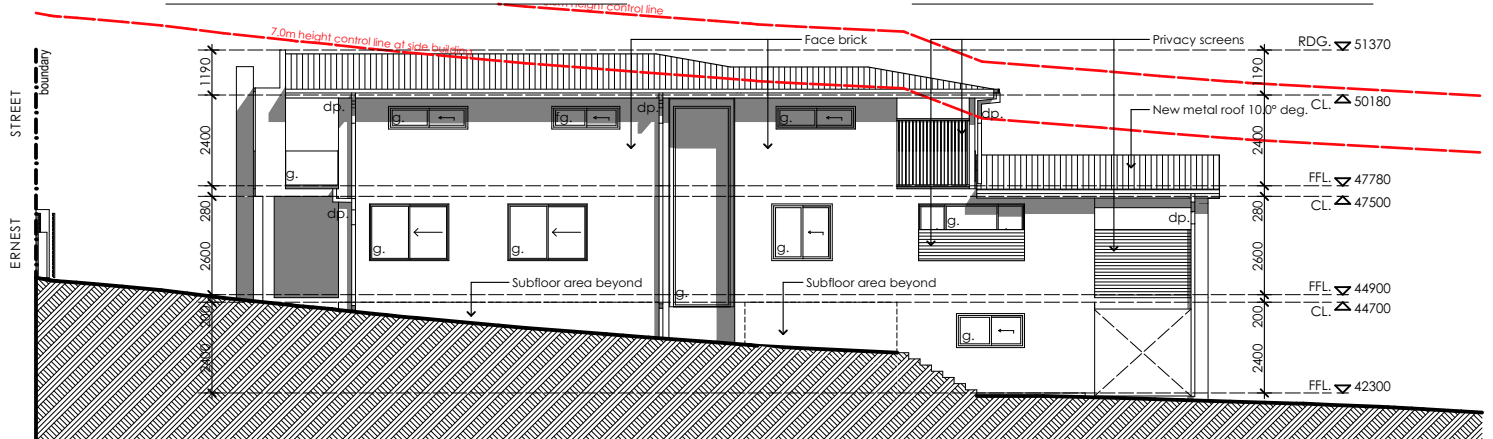
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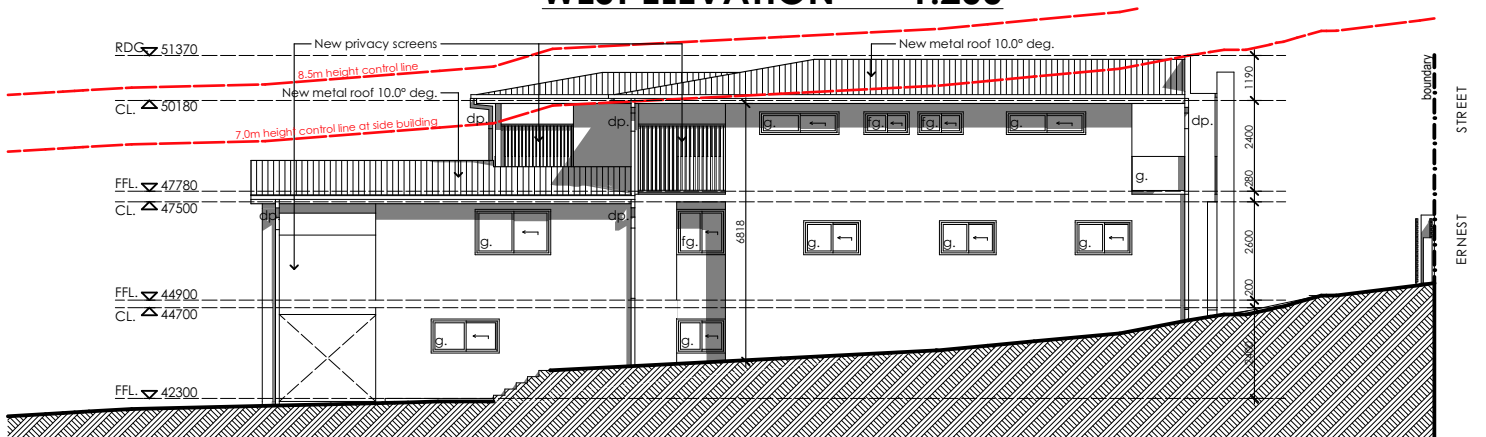
WEST ELEVATION 1:200



WEST ELEVATION 1:200



WEST ELEVATION 1:200



WEST ELEVATION 1:200

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PROJECT: **PROPOSED TWO STOREY DWELLING**

AT: **105 ERNEST ST, LAKEMBA**
FOR: **MRS SHAHANA SATTAR**

DRAWING NAME: **_NOTIFICATION PLAN**

Scale: NTS @ A4 Drawing number: AR-15

Date: 23/05/2022 Pages: 15 of 15

DEVELOPMENT APPLICATION



Plot Date:

23/05/2022